



AUSTRALIAN PROPERTY &
— BUILDING INSPECTIONS —

Building Inspection Report

Inspection Details

Date / Time of Inspection:

Type of Report:

Pest & Termite Inspection

Address of Property:

Client Details

Client Name:

Client Email Address:

Client Phone:

Real Estate Agent Details

Agent Name:

Company:

Mobile:

Email Address:

Inspector Details

Inspector Name:

Inspector Office:

Inspector Phone:

Inspector Email Address:

Australian Property & Building Inspection

ABN: 52 616 411 182

Queensland | NSW | Victoria | South Australia | Western Australia | Tasmania | Northern Territory

APBI Building Inspection Report

Australian Property & Building Inspections offers property inspection services for your home, by highly qualified inspection experts. Each of the inspectors agrees to comply with and are performance managed against APBIs Code of Conduct.

For further information about your report call 1300 657 546 or for further information on our code of conduct please visit <https://www.apbi.com.au/codeofconduct>

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PROPERTY INSPECTION PARTICULARS

1. Description of Property Inspected

Brief description of the building and other structures on the property:		
Type:	Domestic	Freestanding House
Bedrooms:	Four	
Bathrooms:	Two	
Car Park:	Double	
Height:	Single Storey	
Building:	Cavity Brick	
Piers:	Brick	
Floor:	Concrete	
Roof:	Tile	
Age:	1990s	
Image of property:		



Weather at time of inspection?

Raining

Was the property furnished at time of inspection?

Yes

Please note: to conduct an inspection in accordance with AS 4349.3 the property would be vacant of all furnishing to enable a thorough visual inspection.

Was there evidence of any extensions at time of inspection?

Yes

Comment: Patio
Living room extension

2. Definitions

Definition of terms used to describe the current state of repair for each item inspected

Condition Visually Fine:	When the Inspector has viewed the subject area and sees no major structural defect, no minor defect and there is no repair recommended.
General Advice on item:	The Inspector may choose to comment on the subject area, where it doesn't fall into the above categories.
Repair Recommended:	A suggestion that the repair of the defect be carried out by a licenced person, trades person or a person of ability, halting further deterioration to the property.
Major structural Defect:	A defect of sufficient magnitude where repair works must be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
Unable to Inspect Due to access:	An area of the site where there is insufficient, unsafe or unreasonable access.
Not Applicable (N/A):	N/A: When the subject field doesn't make up any part of the inspected property.

3. Inspection Agreement

Requirement for inspection agreement

AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

Purpose of inspection

The purpose of the inspection is to provide advice regarding the condition of the property at the time of the inspection.

Reasonable Access to the property at time of inspection?

No **Note:** Rear extension roof has no visible roof cavity due to the type of construction used.

Areas where reasonable entry is denied to the inspector or where reasonable access is not available are excluded from and do not form part of the inspection. Access limitations may include legal right of entry, locked doors, security system, pets, furniture or other obstructions. Physical access limitations may include height, narrow boundary clearance, thick vegetation, small roof or crawl space and adverse weather conditions. The report shall identify any area or item within the scope of the inspection that was not inspected and the factor that prevented inspection.

The extent of accessible areas shall be determined by the inspector at the time of inspection based on the conditions encountered at that time. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal.

Reasonable access includes a prerequisite that the minimum clearances specified in the table below are safely available.

Dimensions for reasonable access:

- Roof Interior: 400mm x 500mm access hole; 600mm x 600mm crawl space; and accessible from a 3.6m ladder;
- Roof exterior: 400mm x 500mm access hole; 600mm x 600mm crawl space; and accessible from a 3.6m ladder placed on the ground

Supplementary notes:

- Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.
- Sub-floor areas sprayed with chemicals are not be inspected unless it is safe to do so.

Conditions

An inspection report may be conditional on:

- Prevailing weather conditions or recent occupancy and use of services that might affect observations;
- Information provided by the client or the agents of the client;
- Deliberate concealment of defects;
- Any other relevant factor limiting the inspection.

Scope of inspection

What is not reported on, general exclusions detailed in AS 4349.1 – 2007

- Parts of a building that are under construction;
- The inspection is not intended to include rigorous assessment of all building elements in a property;
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures;
- Defects not apparent due to occupancy or occupancy behaviour e.g. non-use of a leaking shower;
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future;
- Unauthorized building work or of work not compliant with building regulations;
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters;
- Estimation of the cost of rectification of specific defects.

What is not reported on, specific exclusions detailed in AS 4349.1 – 2007

- Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment;
- The operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde), timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators);
- Soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

What is reported on

The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions.

The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.

The following areas shall be inspected where applicable:

- The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems;
- The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades;
- The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascia's and barge;
- The roof space: roof covering; roof framing; sarking; party walls; insulation;
- The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors;
- The property within 30m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps; fencing (general & swimming pool); surface water (drainage effectiveness).

VISUAL TIMBER PEST INSPECTION

4. Timber Pest Report

Requirement for timber pest inspection agreement

This report is the result of a Visual Inspection Only. Inspection of the subject property and this report has been completed with reference to AUSTRALIAN STANDARD AS 4349.3 - 1998 Inspection of buildings Part 3: Timber Pest Inspections. The report is intended to be read as a whole, please read our detailed inspection information 3.5 Scope of Inspection, which includes a number of important disclaimers.

Important Note

It is strongly recommended that a full pest inspection be undertaken every 6-12 months. Regular inspections DO NOT stop timber pest attack, but are designed to limit the amount of damage that may occur through early detection.

Areas Inspected

Where applicable and where there is reasonable access, the following areas are examined during our inspection:

- ☒ **Interior and exterior of structures**
- ☒ **Roof cavity**
- ☒ **Garage or carport**
- ☐ **Subfloor**
- ☒ **Retaining walls and garden borders**
- ☒ **Garden and storage sheds**
- ☒ **Structures, fences and trees within 50m of the building within the boundaries of the property**
- ☒ **Pergolas and decks**

Report on Areas Inspected

Our visual inspection is undertaken to identify the following timber pests:

- ☒ **Subterranean termite activity or damage**
- ☒ **Borer activity**
- ☒ **Wood decay (rot) fungi damage**

5. Timber Pest Inspection Report

Timber pest inspection checklist

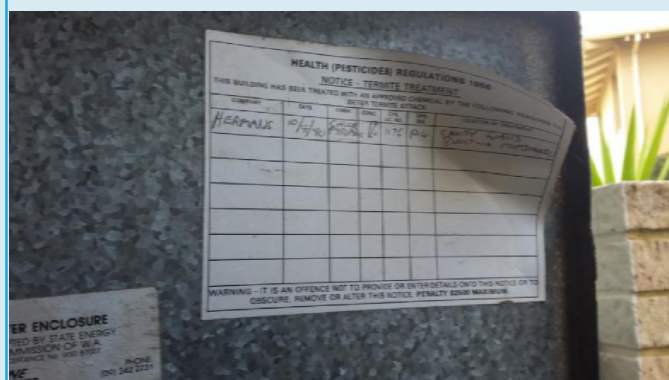
	Condition Visually Fine	Activity or Damage Advice on Item	Action Recommended	Major Structural Defect	Unable to Inspect Due to Access	Not Applicable (N/A)
Dwelling	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Door Frames	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cavity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sub Floor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Garage/Carport	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fence line	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Grounds	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Garden Borders	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pergola	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Deck	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Outbuildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>


Timber Pest - Findings and Recommendations


- Dwelling


Comments

Durable notice located in meter box. Last recorded date of treatment is from 1990.




Timber Pest - Findings and Recommendations	
Activity or Damage Advice on Item	Dwelling
Comments	
Wood decay fungi damage to timber barge boards to the dwelling. Recommend repairing or replacing damaged timbers and regular painting as part of an ongoing maintenance program.	


Timber Pest - Findings and Recommendations	
Action Recommended	Grounds
Comments	
Offcuts and pruning stored in the rear yard. Recommend removing prunings as they can provide a food source for termites.	

Timber Pest - Findings and Recommendations	
Activity or Damage Advice on Item	Fence line
Comments	
Wood decay fungi damage to bottom of timber posts supporting timber screen fence to the side of the carport. Recommend repairing or replacing damaged timber as required to rectify. Damage appears to be isolated to one end of the structure where there was inadequate drainage and air gap.	

Timber Pest - Findings and Recommendations	
Action Recommended	Dwelling
Comments	
Timber gate posts and timber posts against the house could provide undetected entry to the dwelling by termites. Untreated timber in ground contact is conducive to termite activity.	

Timber Pest - Findings and Recommendations	
Action Recommended	Garage/Carport
Comments	
<p>Timber based storage cabinet in the carport sitting directly on the ground. Untreated timber in ground contact is conducive to termite activity.</p>	

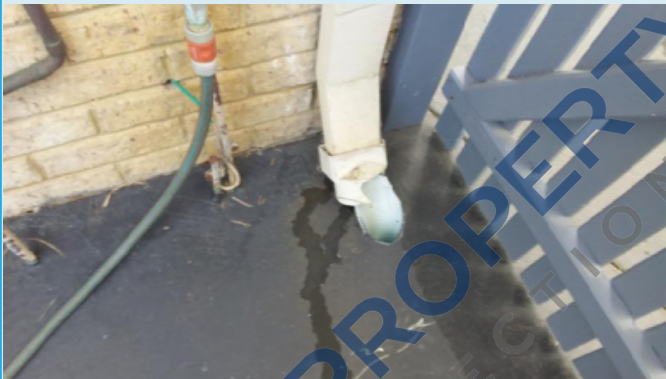
Timber Pest - Findings and Recommendations	
Action Recommended	Grounds
Comments	
<p>Timber based material stores near the rubbish bins. Untreated timber in ground contact is conducive to termite activity.</p>	

Timber Pest - Findings and Recommendations	
Action Recommended	Garden Borders
Comments	
<p>Timber garden borders to the property appear to be constructed using different types of treated timber. Timber should be treated for pest as well as suitably treated for direct ground contact to prevent wood decay fungi. Recommend replacing any inappropriately treated timbers as required to reduce risk.</p>	

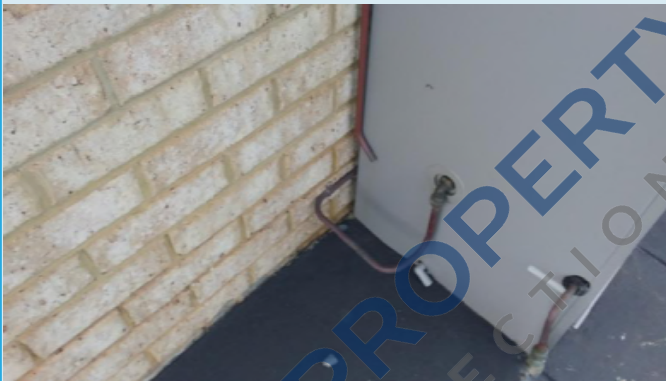
Timber Pest - Findings and Recommendations	
Action Recommended	Garden Borders
Comments	
<p>Timber garden borders to the property appear to be constructed using different types of treated timber. Timber should be treated for pest as well as suitably treated for direct ground contact to prevent wood decay fungi. Recommend replacing any inappropriately treated timbers as required to reduce risk.</p>	

Timber Pest - Findings and Recommendations	
Action Recommended	Dwelling
Comments	
<p>Overflow pipes to hot water systems and air conditioning units should be connected to a drain. Excess moisture to the ground is conducive to termite activity.</p>	


Timber Pest - Findings and Recommendations	
Action Recommended	Dwelling
Comments	
<p>Overflow pipes were observed to gutters around the dwelling. Pipe should be connected to stormwater catchment system to Direct water to a controlled Point as excess moisture to the ground is conducive to termite activity.</p>	

Timber Pest - Findings and Recommendations	
Action Recommended	Dwelling
Comments	
Stormwater pipe was observed to be damaged. Recommend repairing damaged stormwater pipe to Direct storm water away from the property as excess moisture is conducive to termite activity.	

Timber Pest - Findings and Recommendations	
Action Recommended	Dwelling
Comments	
Drains to floor wastes are not connected to the drainage system. Excess moisture to the ground is conducive to termite activity.	

Timber Pest - Findings and Recommendations	
Action Recommended	Dwelling
Comments	
<p>Overflow pipes to hot water systems and air conditioning units should be connected to a drain. Excess moisture to the ground is conducive to termite activity.</p>	

Timber Pest - Findings and Recommendations	
Action Recommended	Dwelling
Comments	
<p>Weep holes to the perimeter of the property are partially obstructed by paving levels. Weep holes should be remain clear with a visual barrier to prevent undetected termite entry to the property. Recommend filling existing weep holes and reinstalling at a line above the finished paving level.</p>	

Timber Pest - Findings and Recommendations	
Action Recommended	Dwelling
Comments	
Downpipes to the side patio are not all connected to a stormwater catchment system. Downpipes should be connected to stormwater catchment system to direct water to a controlled point as excess moisture to the ground is conducive to termite activity.	

Timber Pest - Findings and Recommendations	
Action Recommended	Grounds
Comments	
Timber garden stakes used in the grounds. Untreated timber in ground contact is conducive to termite activity.	

6. Areas Conducive to Timber Pest Attacks

Areas Conducive

Timber Pest attacks are likely to occur if the following items are not considered and planned for:

- ☒ **Hot water system overflow should be directed away from building or to a drain**
- ☒ **External timbers in contact with the building may allow termites to enter undetected**
- ☒ **Landscape timbers should be removed or replaced with treated timbers**
- ☒ **Landscape timbers should be removed or replaced with treated timbers**
- ☒ **Weepholes in brick work need to be free from soil**

Note: Refer to body of report.

7. Environmental Conditions and Summary

Report on Drainage

A visual inspection is undertaken to identify potential drainage problems:

- ☒ **Concrete slab**
- ☐ **Stumps**
- ☐ **Other**

Note: Poor subfloor drainage increases the likelihood of termite attack. If drainage is considered inadequate, a plumber or other building expert should be consulted.

Note: Refer to the body of the report.

Report on Ventilation

A visual inspection is undertaken to identify potential ventilation problems:

- ☐ **Concrete slab**
- ☐ **Stumps**
- ☐ **Other**

Note: Ventilation of the sub-floor region is important in minimising the opportunity for subterranean termites to establish themselves. If found to be inadequate, remedial measures should be taken. You should explore arranging the installation of high air flow vents and/or improve the cross flow of air within the subfloor, so as to produce ventilation equivalent to 8400 sq mm net ventilation area per lineal metre on external and internal walls.

Note:

Evidence of Possible Termite Treatment

A visual inspection is undertaken to identify evidence of possible termite treatment:

- ☒ **Concrete slab**
- ☐ **Stumps**
- ☐ **Other**

Note: Durable notice located in the meter box.

Subterranean Termite Treatment Recommendation

At the time of the inspection it is our opinion that the need for a treatment, in accordance with Australian Standard 3660.1 to control or prevent subterranean termites from infesting and causing damage to the property is:

- ☐ **High** ☒ **Moderate** ☐ **Low**

Overall Degree of Risk of Timber Pest Infestation

Considering all of the relevant factors, it is our opinion that the overall degree of risk of termite infestation to the property is:

- ☐ **High** ☒ **Moderate** ☐ **Low**

Note: The overall degree of risk of Timber Pest Infestation is a subjective assessment by the inspector at the time of the inspection, taking into account many factors which include, but are in no way limited to, location and proximity to bushland and trees and/or other timber structures, the presence of evidence of timber pest damage or activity close to the inspected structure or within the inspected structure, conducive conditions that raise the potential of timber pest attack, such as timbers in contact with soil, inaccessible areas, slab on ground construction etc, or other factors that, in the inspector's opinion, raise the risk of future timber pest attack.

It should be noted that if the risk factor is high, this is not meant to deter a purchaser from purchasing the property; it is simply to make them aware that increased vigilance is warranted and any recommendations regarding reducing conducive conditions or frequency of inspections should be observed.

With reference to the degree of pest infestation noted above, it is recommended that pest inspections be completed by a qualified pest inspection every six to twelve months

8. Report Summary

Summary and Recommendations

No live termites or termite activity observed at the time of inspection. Recommend engaging a licensed pest control company to undertake a termite management plan. Timber pest inspections should be conducted at the property has a frequency no greater than every 12 months. Refer to body of report for findings.

9. Terms and Conditions

APBI Terms & Conditions

1. Australian Property and Building Inspections has prepared this report in accordance with the guidelines of Australian Standard 4349.1 – 2007 (Standard) which covers the minimum requirements for the visual inspection of residential buildings and based on the inspection of the property named (Inspected Property) in the administrative cover letter by the inspector named (Inspector) in the administrative building inspection report.

2. The Report is prepared for the sole and exclusive use of the person, persons or body named (Client) in the administrative cover letter and cannot be used or acted upon by any other party without the express permission of Australian Property and Building Inspections.

3. The Client, having been provided with the opportunity to read these Terms and Conditions following the making of a booking for a property inspection, accepts these Terms and Conditions. The Client acknowledges that these Terms and Conditions are also available via the website: www.APBI.com.au and can change without notice. These Terms and Conditions take precedence over any oral or written representations made by Australian Property and Building Inspections or the Inspector, to the extent of any inconsistency.

4. The Report is based on the condition of the Inspected Property at the date and time of inspection. While the Report is prepared with due care and diligence, the Report is based upon the prevailing conditions and the safe and reasonable access of the Inspector to the Inspected Property as outlined in the Standard.

5. The Report must be read carefully and in its entirety to gain a complete understanding of the findings of the inspection of the Inspected Property. It will help you understand the limitations faced by an inspector and why it is not possible to guarantee that a property is completely free of defects.

6. The Report is not a certificate of compliance for the Inspected Property within the requirements of any Act, regulation, ordinance or local law or by-law. The Report does not cover enquiries of councils or other authorities.

7. The Report is subjective assessment of the Inspected Property and therefore outlines the opinion of the Inspector on the general condition of the Inspected Property at the date and time of the inspection in relation to major defects and a general impression of minor defects and safety hazards. The Report provides no guarantee and is not a warranty against problems developing with the Inspected Property in the future.

8. The Report does not include identification of unauthorised building work or of work not compliant with building regulations. An estimate of the costs of rectification of defects is not required in accordance with the Standard.

9. The inspection is undertaken, and the Report prepared, by the Inspector on the assumption that the existing use of the Inspected Property will continue. As such, the Inspector will not assess the fitness of the Inspected Property for any other intended purpose. We advise you to verify any proposed change in use of the Inspected Property with the relevant authorities.

10. This Report is based on a visual assessment of the Inspected Property together with relevant features of the Inspected Property within 30m of the building and within the boundaries of the site, the prevailing structural, soil and weather conditions at the date and time of the inspection and the Inspector having safe and reasonable access to all areas. Where the Inspected Property is a unit or apartment, associated areas may include common areas pertinent and immediately adjacent to the Inspected Property, or as specifically instructed by the Client. Areas not inspected are noted in the Report.

The Standard provides that “safe and reasonable access” shall be determined by the inspector at the time of the inspection, based on the conditions encountered at the time of inspection. An inspector shall only inspect areas where safe, unobstructed access is provided and where the minimum clearances are available or, where these clearances are not available, areas within the inspector’s unobstructed line of sight and close enough to enable reasonable appraisal.

Minimum clearances are defined as at least 600mm vertical and horizontal clearance for roof space and sub floor area access. The interior and exterior roof must be accessible from a 3.6 metre high ladder for reasonable access to be available. Reasonable access does not include removing screws and bolts to access covers. Nor does reasonable access include cutting or making access traps, or moving furniture or stored goods.

11. This Report is not a rigorous assessment of all building elements and does not cover all maintenance items. This Report also does not cover defects in inaccessible areas, defects that are not reasonably visible, defects that may only be apparent in certain weather conditions or defects that have not yet arisen due to prolonged periods of wet or dry weather or other subsequent events.

12. As the Report only covers the visual aspects of the Inspected Property, it does not cover any part of the building located beneath the ground surface.

13. The Inspector can only make comment with regard to the general, visible condition of electrical wiring and plumbing. We suggest that a licensed tradesperson be contacted for a separate report.

14. The Inspected Property shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

15. The Report does not identify the presence of pests, or any damage caused by pests (e.g. termites, borers, etc.). We suggest that a professional pest inspector be contacted for a separate report.

16. No assessment or identification is made of asbestos or asbestos related products, toxic mould or other harmful substances. Asbestos dust is a hazardous material and should not be disturbed. It is vital that asbestos is not sawn, sanded, drilled or water blasted, etc. For more information about the handling and disposing of asbestos contact your local council.

APBI Terms & Conditions

11. This Report is not a rigorous assessment of all building elements and does not cover all maintenance items. This Report also does not cover defects in inaccessible areas, defects that are not reasonably visible, defects that may only be apparent in certain weather conditions or defects that have not yet arisen due to prolonged periods of wet or dry weather or other subsequent events.
12. As the Report only covers the visual aspects of the Inspected Property, it does not cover any part of the building located beneath the ground surface.
13. The Inspector can only make comment with regard to the general, visible condition of electrical wiring and plumbing. We suggest that a licensed tradesperson be contacted for a separate report.
14. The Inspected Property shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.
15. The Report does not identify the presence of pests, or any damage caused by pests (e.g. termites, borers, etc.). We suggest that a professional pest inspector be contacted for a separate report.
16. No assessment or identification is made of asbestos or asbestos related products, toxic mould or other harmful substances. Asbestos dust is a hazardous material and should not be disturbed. It is vital that asbestos is not sawn, sanded, drilled or water blasted, etc. For more information about the handling and disposing of asbestos contact your local council.
17. Our inspection does not assess the operation of appliances, alarms, security and communication systems, smoke detectors, heating and cooling systems, blinds (internal and external), soft furnishings, telephones, spa and pool equipment, building automation, electrically operated doors, plant and equipment. Any item not specifically noted in this Report is excluded from the inspection of the Inspected Property. We suggest that a licensed tradesperson be contacted for a separate report in respect of gas or electrical appliance and fittings.
18. No item of furniture or fixtures will be removed, moved or modified during the inspection and items and conditions covered by such furnishings and fixtures are not inspected or considered. Nor do we assess the condition of conspicuous, non- structural items such as carpets, vinyl floor coverings etc.
19. Any maintenance and general advice items are intended as a helpful guide. The Report is not necessarily an exhaustive list of all maintenance and advice items.
20. You should address legal and conveyancing matters such as title and ownership to your solicitor or legal representative. Compliance issues in relation to the positioning of services, privacy, vehicle access, the siting of the buildings, zoning, permit or town planning issues or other legal matters should be directed to the relevant authority or to a solicitor or legal representative.
21. Unless otherwise notified Australian Property & Building Inspections will make vendor purchased reports available to prospective buyers. Please advise within 48 hours of receipt of this report if as a vendor you do not wish this report be made available to prospective purchasers of the property.
22. Acceptance of this report and payment by the Client acknowledges acceptance of the Inspection Agreement and Terms & Conditions.

Terms & Conditions

Concrete slab homes: Homes constructed on concrete slabs present special problems with respect to termite attack. If concrete paths, patios, pavers, garden beds, lawns, foliage etc. conceal the edge of the slab, then it is possible for termites to affect concealed entry into the property. They can then cause extensive damage to concealed framing timbers. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings. Only when termites attack termites in the roof void, which may in turn be concealed by insulation, can their presence be detected. When termite damage is located in the roof it should be expected that concealed framing timbers may be damaged.

With a concrete slab home it is imperative that you expose the edge of the slab and ensure that foliage and garden beds do not cover the slab edge. Weep holes must be kept free of obstructions.

IMPORTANT INFORMATION

There is no warranty given or implied as a result of the inspection or this report. The report can only give details of what was found on the day and at the time of the inspection. Termites can gain entry to the structures at any time.

General remarks; A more thorough invasive inspection can be undertaken. Where any current visible evidence of termite activity is found it is strongly recommended that a more invasive inspection is performed. Trees on the property up to a height of 2 metres have been visually inspected, where possible and practicable, for evidence of termite activity. It is difficult, and sometimes not possible to locate termite nests as they are generally underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

Important maintenance advice regarding integrated pest management for protecting against termites.

Termites can attack any structure. Periodic maintenance should include measures to minimize possibilities of infestation in and around the property. Factors that may lead to infestation include;

- Situations where the edge of the concrete slab is covered by soil or garden debris.
- Filled areas, or areas with less than 400mm clearance.
- Foam insulation at foundations
- Poor drainage, leaking pipes, damp areas, formwork timbers, scrap timbers, tree stumps, mulch, tree branches touching the structure, wood rot and timber retaining walls.
- Gardens, pathways, or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by termites.
- All timber in contact with soil, such as formwork, retaining walls, scrap timbers or stumps must be removed from under and around the buildings, and any leaks or poor drainage repaired. You should endeavour to ensure such conditions do not occur around your property.

DISCLAIMER OF LIABILITY; No liability shall be accepted on account of failure of the report to notify of any termite activity and/or damage present at, or prior to the date of the report in any areas of the property physically inaccessible for inspection, or to which access is denied by or to the inspector (including but not limited to any areas specified in the report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES; This report is made solely for the use and the benefit of the client named on the front of this report. No liability or responsibility whatsoever, in contract or tort, is accepted to any third party who may rely on the report wholly or in part. Any third party acting or relying on this report, in whole or in part, does so at his/her own risk.

10. Australian Property & Building Inspections

18.1 Profile

The Australian Property & Building Inspections is a national organisation that promotes quality building inspections.

APBI engages with trade qualified builders with a minimum of 10 years residential and commercial building experience to complete property inspections.

Each home and building inspection completed is then detailed in a report that is completed to Australian Standards AS4349.3.

APBI currently has 17 offices nationally who are supported by a national call centre located at Level 14, 330 Collins Street, Melbourne. Our office locations follow:

Victoria

- Melbourne
- Geelong
- Mornington Peninsula
- Ballarat

New South Wales

- Sydney
- Parramatta
- Neutral Bay (North Sydney)
- Bathurst

Queensland

- Brisbane
- Gold Coast
- Sunshine Coast

South Australia

- Adelaide

Western Australia

- Perth
- Fremantle

Tasmania

- Hobart

Northern Territory

- Darwin